

A Unique Task



July 30th 2025, 11:47 am

Inspection performed by:

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Get Ahead of the Problem

General Information

BUILDING ADDRESS: 987 Walkthrough Drive

CITY: Winnipeg

STATE: MB

ZIP CODE:

INSPECTION DESCRIPTION: Walk through inspection

SQUARE FOOTAGE: 1040

Picture:



Has the PRE-INSPECTION AGREEMENT been signed by the client?

Yes

Is the client present for the inspection?

Is the real estate agent present for the inspection?

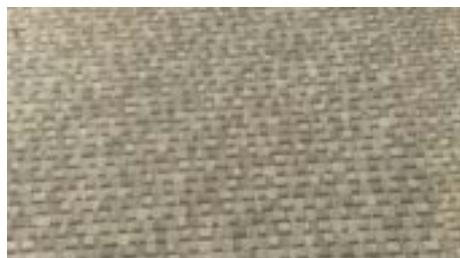
Yes

ROOF

ROOF TYPE Gable

Notes:

39 inch two-tone brown architectural style fibreglass shingle appears to be in good repair. No recent signs or repairs no visible wind damage. No signs of impact appears to be in great condition. Should last another 20+ years if well-maintained. This is not necessarily cause for alarm, but something any homeowner should be aware of. Continue to monitor, if condition deteriorates contact a qualified contractor. Minor sealed areas will need yearly inspection and preventative maintenance





ROOF MATERIAL Other

Notes:

Fibre

ROOF INSTALLATION Satisfactory

Notes:

FLASHING Fair

Notes:

GUTTERS AND DRAINAGE Fair

Notes:

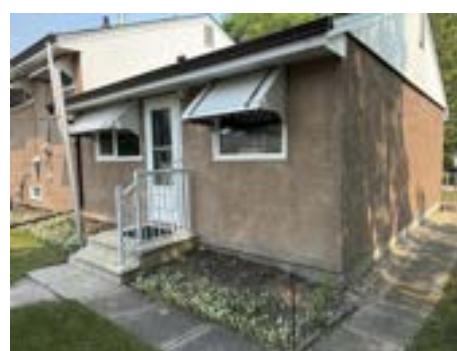
MILDEW PRESENT ON ROOF? No

Notes:

EXTERIOR

SIDING MATERIAL Stucco

Notes:



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LANDSCAPE GRADING Poor

Notes:

Grading should be increased to allow water to flow away from foundation.

Proper grading around the home is essential to protect the foundation and maintain structural integrity. The ground should slope away from the foundation at a minimum rate of 6 inches over the first 10 feet (a 5% grade) to ensure that surface water drains away rather than pooling near the structure.

Inadequate grading can lead to serious moisture-related issues, including:

- * Water intrusion into basements or crawlspaces
- * Foundation cracking or shifting
- * Mold growth and wood rot
- * Elevated indoor humidity and poor air quality
- * Deterioration of exterior finishes and landscaping

Maintaining effective grading helps prevent water from infiltrating below-grade walls and minimizes hydrostatic pressure against the foundation. It also reduces the risk of erosion, standing water, and long-term structural concerns.

Homeowner Maintenance Tips:

- * Monitor for soil settlement, erosion near downspouts, and negative slope development over time
- * Ensure landscaping changes or new construction do not compromise the slope
- * Downspouts should discharge a minimum of 6 feet away from the foundation to support proper drainage

Conclusion: Proper grading is a critical defense against damage, moisture intrusion, and costly repairs. It is recommended that homeowners periodically inspect grading conditions and make adjustments as needed to maintain positive drainage away from the home.

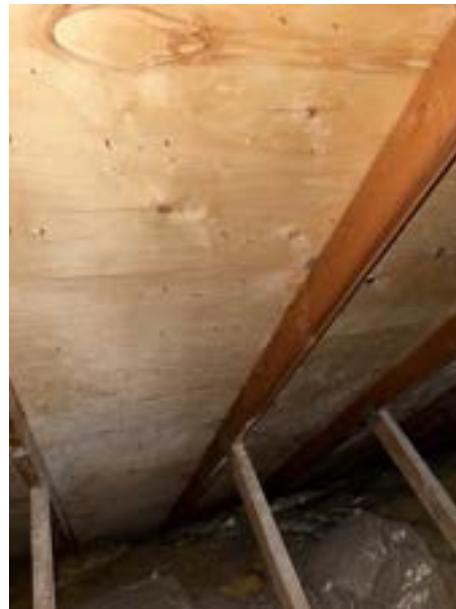
SURFACE DRAINAGE N/A

Notes:

ATTIC

ROOF SHEATHING Fair

Notes:



FRAMEWORK Fair

Notes:



VENTILATION Satisfactory

Notes:

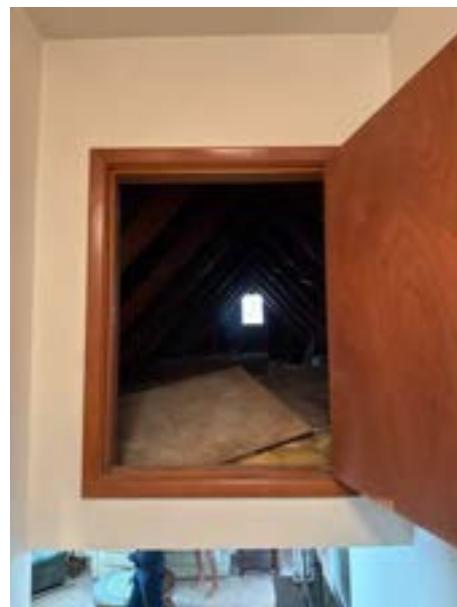
INSULATION Satisfactory

Notes:



ACCESS Fair

Notes:



MILDEW PRESENT IN ATTIC? No

Notes:

SIGNS OF PESTS IN ATTIC? No

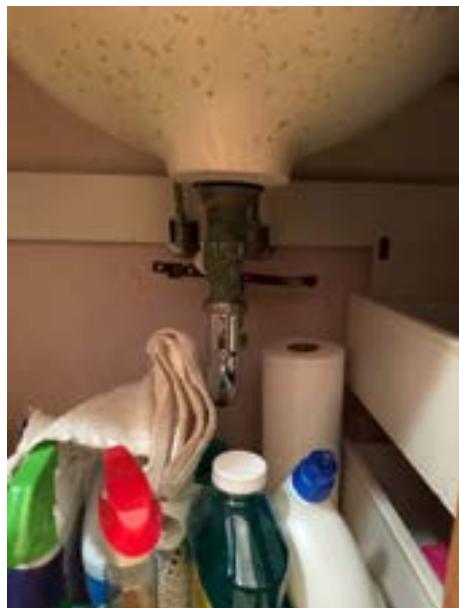
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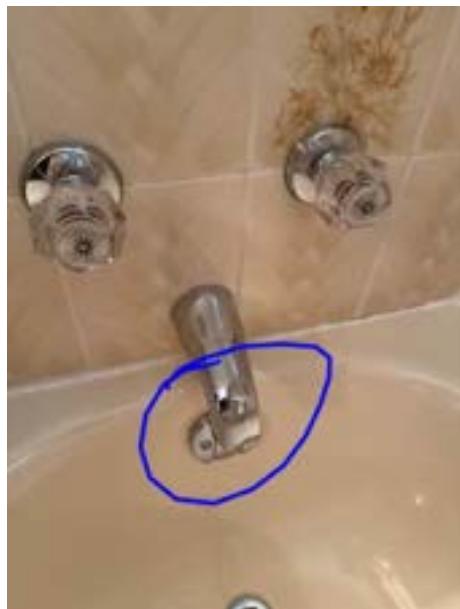
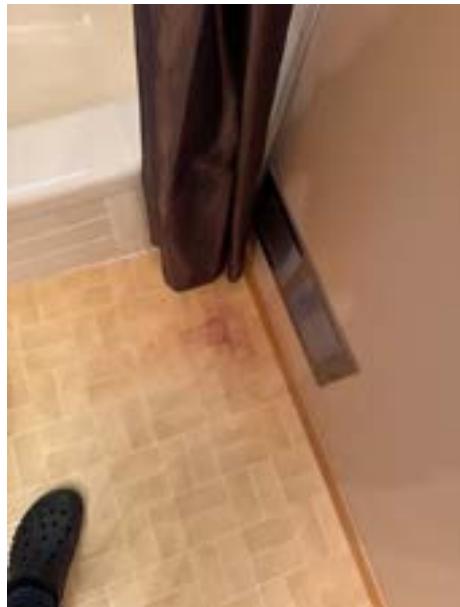
BATHROOM 1

DOORS Not Inspected

Notes:

Tap on tub seized Needs maintenance and repairs.





FLOORING Poor

Notes:

Old staining now meters dry

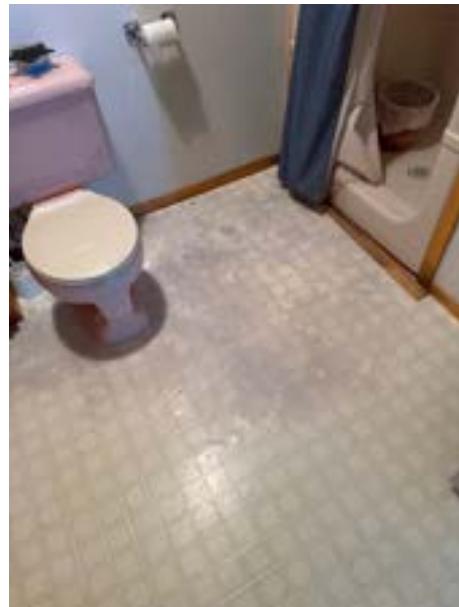
WALLS N/A

Notes:

BATHROOM 2

DOORS Not Inspected

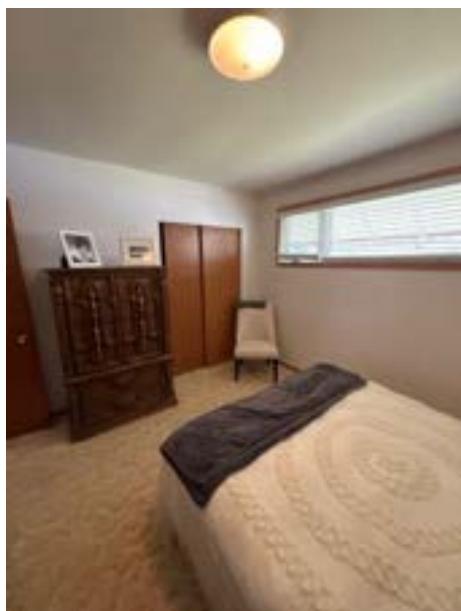
Notes:



BEDROOM 1

DOORS Not Inspected

Notes:



BEDROOM 2

DOORS Not Inspected

Notes:



BEDROOM 3

DOORS Not Inspected

Notes:



LIVING AREA 1

DOORS Not Inspected

Notes:

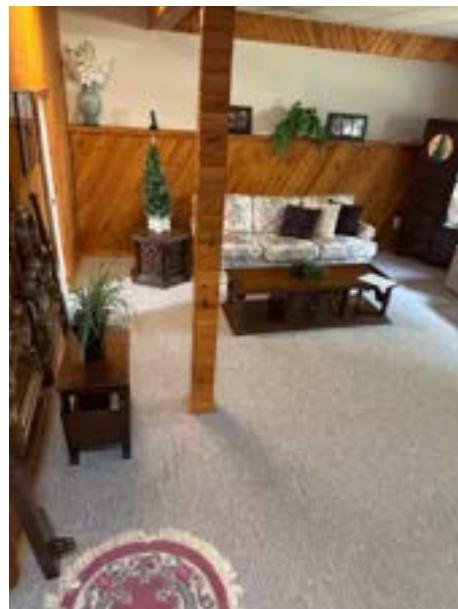


LIVING AREA 2

DOORS Not Inspected

Notes:

To basement



KITCHEN

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DOORS Not Inspected

Notes:

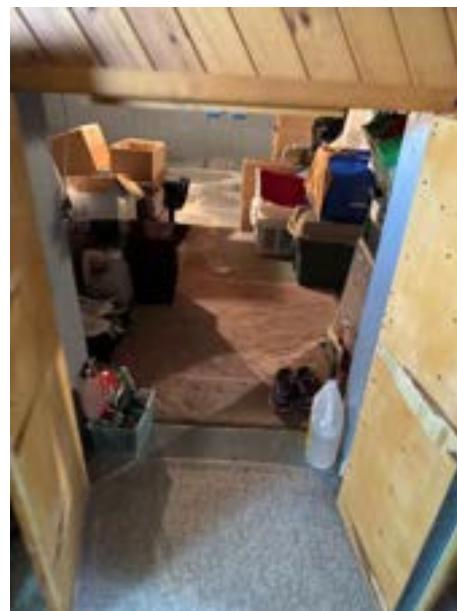




DINING ROOM LAUNDRY ROOM FOUNDATION

FOUNDATION MATERIAL Poured Concrete

Notes:





SLAB N/A

Notes:

No heaving just uneven pour of concrete. Due to lack of ventilation and poor workmanship concrete and paint peeling.







WALLS Fair

Notes:

FRAMEWORK Fair

Notes:

DRAINAGE Fair

Notes:

VENTILATION Fair

Notes:

OUTLETS Fair

Notes:

MILDEW PRESENT AT FOUNDATION? No

Notes:

Looks like clean up had taken place

PLUMBING

WATER SUPPLY PRESSURE Fair

Notes:

WATER SUPPLY PIPING SIZE Fair

Notes:

MAIN SHUTOFF VALVE N/A

Notes:

SEWER / SEPTIC Not Inspected

Notes:

Due to the heavy mature trees in the area, it is recommended to have Roto-Rooter and clean out the sewer lines as preventative maintenance

WATER HEATER Fair

Notes:

Manufacturer: John Wood

Model Number: PROG40-38N RH62

Serial Number: Q471905659

Manufacture Date: November 2019

Unit Description:

This is an electric residential water heater with a 40-gallon storage capacity. The unit features standard safety components including a temperature and pressure relief valve. No specific energy efficiency rating (EF or UEF) is listed on the data tag.

Professional Notes:

Unit installation appears typical for electric models, with no visible leaks or corrosion. Electrical connections and tank surfaces show no signs of distress. Confirm that the heating elements cycle properly.

Maintenance Note:

Annual inspection and flushing to reduce sediment accumulation is recommended. Test the temperature and pressure relief valve periodically to ensure proper operation.

VENT SYSTEM N/A

Notes:

Plumbing system is made up of copper and. Pex

ELECTRICAL

SERVICE DROP / LATERAL Fair

Notes:

All copper

Type: Main Service Panel

Manufacturer: Bulldog Electric Products (Pushmatic)

Model: SE 16-20

Service Rating: 100 Amps, 120/240V AC

Breaker Type: Pushmatic breakers with manual reset

Main Breaker: Top-mounted, labeled 100A

Notable Components

- Breakers are clearly labeled on the directory (somewhat faded but legible)
- Dedicated double-pole breakers for large appliances (dryer, range, HWT)
- Pushmatic breaker system (obsolete but functional if maintained)
- Wiring includes black, red, and white insulated conductors, copper ground conductors

Overall Condition Assessment

- Panel interior is moderately dusty with minor debris observed at the bottom
- No corrosion or active moisture infiltration visible
- Wiring appears aged but serviceable; routing is tight but largely contained

Deficiency Identification

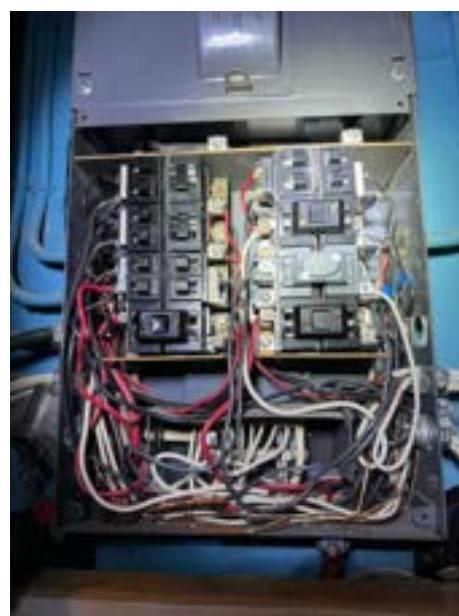
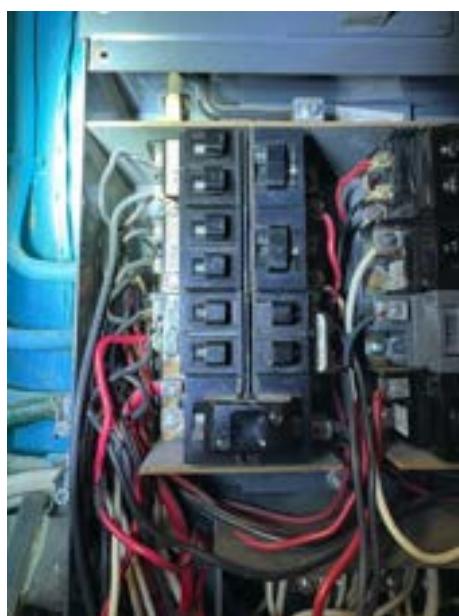
- One neutral conductor appears to be double-tapped (two neutrals under one terminal screw), which is not compliant with most modern panel standards
 - Slight discoloration noted on a few terminal screws; no evidence of overheating or scorch marks at time of inspection
 - Labeling is handwritten and partially faded; circuit identification is incomplete in areas, which may hinder emergency or service work

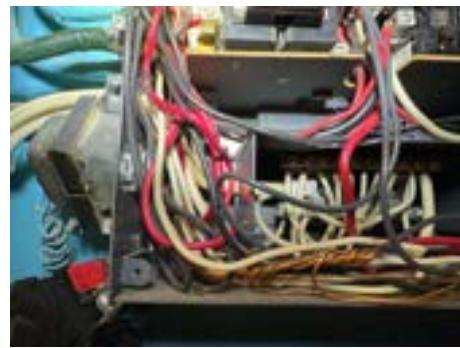
Professional Recommendation

Panel shows no immediate hazards but contains legacy components and minor code concerns. Recommend evaluation by a licensed electrician to confirm code compliance (particularly with double-tapped neutrals) and consider upgrading labeling for clarity.

Additional Notes

Routine inspection and maintenance by a qualified electrician is advised to ensure continued safe operation. Pushmatic panels are considered outdated; future panel replacement should be discussed during major electrical upgrades.





CONDUCTORS Fair

Notes:

OVERCURRENT PROTECTION Fair

Notes:

RECEPTACLES Fair

Notes:

AMP RATING 100 Amps

Notes:

MAIN DISCONNECT Fair

Notes:

WIRING METHOD Non-Metallic Sheathed Cable

Notes:

CIRCUIT PANEL Fair

Notes:

HEATING & COOLING

ENERGY SOURCE Natural Gas

Notes:

Manufacturer: Ruud

Model Number: UGRA-07EMAES

Serial Number: FY5D702F480608992

Manufacture Date: December 2007

Unit Summary:

This is a high-efficiency natural gas furnace equipped with a sealed combustion system. The system utilizes a direct vent configuration with PVC intake and exhaust piping, indicating Category IV venting. The rated electrical input is 6.3 amps. The unit includes an electronic ignition system and appears to be a single-stage model based on control layout.

Additional features include a condensate pump and board-mounted diagnostic interface. Efficiency and AFUE rating are not listed on the data tag but the model designation "Achiever 90 Plus" typically corresponds to an AFUE rating of 90 percent or higher. BTU output is not visible on the data plate provided.

Visible Condition Notes:

- No corrosion or active leaks observed on the furnace body or internal components
 - Combustion area and blower compartment are free of excessive dust or debris
 - All visible wiring and circuit board components appear intact with no signs of overheating or damage

Maintenance Note:

Routine servicing, including annual inspection by a qualified HVAC professional and regular air filter replacement, is recommended to ensure safe operation and maintain system efficiency.



VENTING / CHIMNEY Satisfactory

Notes:

HEATING SYSTEM Forced Air

Notes:

HEATING SYSTEM OPERATION Satisfactory

Notes:

DUCTWORK / PIPING Satisfactory

Notes:

COOLING SYSTEM Satisfactory

Notes:

COOLING SYSTEM OPERATION Satisfactory

Notes:

THERMOSTAT Fair

Notes:

AIR FILTER(S) Fair

Notes:



SMOKE ALARM(S) Fair

Notes:

ADDITIONAL DETAILS

SUMMARY:

1. General Overview

The property appears to be in fair overall condition with evidence of routine upkeep. No major signs of neglect were noted. The home presents well, though minor maintenance items and aging finishes were observed in some areas. Landscaping and grading require attention to prevent water-related issues.

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2. Key System Observations

Roof:

Gable roof with architectural-style fiberglass shingles in good condition. No visible damage or recent repairs. Flashing and gutters are fair; minor sealant areas should be inspected annually.

Attic:

Insulation and ventilation are satisfactory. Sheathing and framing appear fair with no signs of mildew or pest activity.

Foundation:

Poured concrete foundation. No active heaving observed; however, surface concrete shows peeling due to poor ventilation. Grading is poor and requires improvement to prevent moisture intrusion.

Interior:

Interior finishes are generally in fair condition. One bathroom tub tap is seized. Flooring shows old staining, now dry. No major hazards reported.

Mechanical Systems:

- **Furnace: Ruud natural gas, manufactured 12/2007. High-efficiency, sealed**

combustion, electronic ignition. No active leaks or corrosion.

- **Water Heater:** John Wood electric, 40-gallon, manufactured 11/2019. No visible leaks or corrosion.
- **Cooling System:** Operational and satisfactory.
- **Thermostat and Filters:** Fair condition.

Electrical:

100-amp service, Pushmatic panel (Bulldog Electric), showing moderate wear. One double-tapped neutral noted. No corrosion or overheating visible. Obsolete panel type; further evaluation recommended.

Plumbing:

Copper and PEX supply piping. No active leaks noted. Sewer line condition unknown; cleaning recommended due to surrounding mature trees.

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3. Recommendations & Maintenance Notes

- Improve site grading to direct water away from foundation.
- Service seized tub tap.
- Evaluate double-tapped neutral and consider future panel upgrade.
- Schedule HVAC servicing and maintain regular filter changes.
- Consider sewer line cleaning as preventative maintenance.

Reminder: Ongoing maintenance and periodic full inspections are key to preserving home integrity and addressing emerging issues early.

Post-Inspection Notes

Inspection Report Delivery

This inspection report was provided to the client(s) within 1–2 hours following the site visit and client meeting. It includes observations made during the walkthrough and any additional findings noted during the review phase.

Weather Conditions at Time of Inspection

Sunny

Summary of Findings

This report outlines visible conditions, potential issues, and their implications. Clients are encouraged to prioritize the most critical items first. For clarification or further detail on any observations, please contact the inspector directly.

Table of Contents

External Amenities (Gates, fences, sheds/outbuildings, houses, equipment, carports)

Roof (Roof type, material, missing/damaged shingles, chimney, flashing, gutters, skylights, roof penetrations, mildew presence)

Exterior (Siding, flashing, eaves, fascia, soffits, trim, balconies, porches, patios, steps)

Landscape (Vegetation, grading, drainage, retaining walls)

Garage (Driveway, garage doors and openers, exterior)

Attic (Sheathing, framework, ventilation, insulation, chimney, mildew or pest activity)

Bathrooms (1-5+) (Doors, flooring, walls, ceilings, windows, tubs/showers, toilets, outlets, ventilation, lighting)

Bedrooms (1-6+) (Doors, flooring, walls, ceilings, windows, lighting, ceiling fans)

Living Areas (Doors, flooring, stairways, walls, ceilings, lighting, ceiling fans, fireplaces)

Kitchen (Doors, flooring, walls, ceilings, windows, counters, pantry, sink/disposal, dishwasher, stove/oven, exhaust, refrigerator, outlets)

Dining Room (Doors, flooring, walls, ceilings, windows, ceiling fans, fireplaces)

Laundry Room (Doors, outlets, water/gas supply, drain, countertops, cabinets)

Foundation (Material, visible slab/wall condition, framing, foundation pit and pump, ventilation, outlets, signs of mildew)

Plumbing (Water pressure, supply piping, shut-off valves, drainage, sewer/septic observations, water heater, venting)

Electrical (Service drop, conductors, overcurrent protection, GFCI, AFCI, AMP rating, main disconnect, wiring, circuit panel)

Heating & Cooling (Fuel source, chimney/venting, HVAC, ductwork, insulation, air quality, energy efficiency)

Rating Key

- * **Satisfactory:** Functioning as intended
- * **Fair:** Typical wear and tear; may require maintenance
- * **Poor:** Needs repair or may pose a hazard
- * **N/A:** Not applicable
- * **Inspected:** Fully assessed; comments included
- * **Not Inspected:** Inaccessible or not applicable; reason noted

General Recommendations

- * **Maintain proper grading:** slope soil away from the foundation (minimum 6 inches over 10 feet)
- * **Keep gutters and downspouts clear;** discharge water at least 6 feet away from the home
- * **Monitor for new foundation cracks or signs of movement**
- * **Inspect the roof twice annually;** typical lifespan is 20–25 years
- * **Conduct radon testing after move-in** (per Health Canada guidance)
- * **Replace sump pumps every 10 years**
- * **Use licensed professionals for all electrical, plumbing, HVAC, roofing, and structural work**
- * **Review home insurance coverage and endorsements with your broker**
- * **Arrange for utility connections before move-in**
- * **Label circuit breakers for easy identification and emergency response**
- * **Test heating and cooling systems seasonally**
- * **Install a programmable thermostat for energy efficiency**
- * **Consider a smart water shutoff system for added protection**
- * **Test smoke and CO detectors monthly; replace batteries annually**
- * **Replace furnace filters monthly**
- * **Inspect attic during winter for ice damming or signs of air leaks**

Inspection Standards

This inspection was conducted in accordance with the 2023 National Standards of Practice established by the Canadian Association of Home & Property Inspectors (CAHPI). These standards define the scope, limitations, and methodology of residential inspections. This report does not constitute

a code compliance audit, engineering analysis, or invasive assessment.